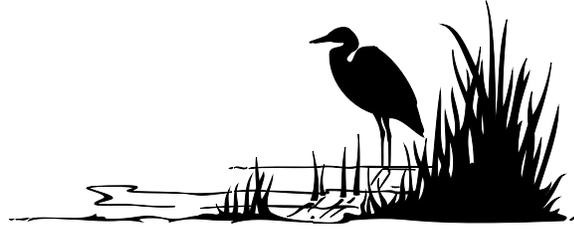


**BETZ LANDING
HOME OWNER'S ASSOCIATION
P.O. BOX 422
HEATHSVILLE, VA 22473
President – Dave Dustin
804-577-4150
betzlanding@outlook.com**



Greetings Neighbor:

January 3, 2018

Happy New Year! I hope as everyone reflects on 2017 only good memories exist. If, for some reason 2017 was a particularly good year, I sincerely hope that 2018 brings even better things into your life.

ASSOCIATION ISSUES

Rest Rooms

The rest rooms were closed down on Oct. 10th and winterized. They won't be available for use again until spring.

Keeping the Neighborhood Beautiful

Just an FYI. Every lot owner has a copy of the Protective Covenants and Architectural Control Guidelines and should be familiar with the few restrictions we have (you can read them before bedtime if you're an insomniac). Remember if you wish to file a complaint about another lot owner, please obtain the Complaint Form from the Betz site www.betzlanding.org and send it to the Boards' attention at the address above. The Board will only review written complaints. Please come to the meetings. If you have anything you want to bring up we will allow a specific amount of time for you to bring up your subject for discussion.

Neighborhood Leash Regulations

It has been brought to the attention of the board that dogs have been let loose to run about the neighborhood and, consequently, relief themselves on others residents' property. If you've ever had the unfortunate opportunity to "discover" these contributions...you know just how annoying it can be. So, please observe our community guidelines regarding pets and don't allow them to roam free and please leave your neighbors yards as scat free as you found it!

Thanks for your understanding and cooperation.



Roads

If you see a spot in the road that needs some repair or attention please let me know or logon to the VDOT web site to leave a report with them on your observation that something needs to be taken care of. The site will give you a reference to track their work progress. VDOT is supposed to take care of the main road, but some cul-de-sacs are still our responsibility. If you have a gully in front of your mail box where the mail carrier drives on and off the road please fill it in with stone. This will help prevent the side of the pavement from breaking off.

A fire safety reminder

When cleaning up any debris from your yard everyone needs to really focus on how important preventing fire is in the neighborhood. With half of the development covered completely in trees, it would be devastating to this community if a fire got out of control. Please be careful with your small fire burning and always keeping a constant eye on the fire and have an available water source to put it out. If it starts to get out of control, call 911 first and then fight the fire... **don't wait!** Always keep in mind what possibly could happen to your neighbors if your small fire got out of control. If you do burn debris, do it after 4PM when the wind has died down for the day.

UPCOMING EVENTS

A current list of upcoming events can be found on our Betz Landing Homeowners Associations website (betzlanding.org). However, for your convenience, here's the current list:

Board Meetings for 2018

March 10th

June 9th

September 8th

December 8th

Annual "Clean Up Day" and Community Picnic - April 21st

Annual Meeting -October 13th

Tools of Betzlanding are available for any lot owners to use

All the equipment used by the association are available to any lot owner who would like to use it for their own parties or work projects. Please contact me if interested. (tables, chairs, pavilions tents, garden tools, cement mixer, lawn games, and other stuff that I can't remember.)

BOARD ISSUES



Financial Status

As of December 2, 2017, we have a total of \$165,109.14 in CDs, our two reserve accounts, and \$7,665.86 in our checking account. The last couple of years we have had an outstanding payment record. **Thank you all for paying your dues on time.**

Invoices for your annual dues are in the mail! Please consider sending in your 2018 Homeowner dues as soon as possible. Play your part in making it another good year for the Betz Landing Homeowners Association.

Delinquent Dues

The Board prides itself on having never delivered a special assessment on the lot owners, where in other Associations, it is a regular occurrence. The Association certainly understands there are circumstances that may occur in preventing you from paying your dues on time, and we have always tried to take action that would cause the least amount of hardship to a lot owner.

BLHOA Legal Documents

Many of you may be aware that the Betz Landing Homeowners association was officially established in 1995...a little over 22 years ago...yes, it's been that long! Sam Frye recently visited the Northumberland Court House and found that the Convents on file for our association are the original documents that were filed back when the association was originally established.

In light of the age of these documents, the board has engaged a local lawyer to review all of our association governing documents (By-Laws, Covenants, and Architectural Control documents). These documents are currently being review for any needed updates. Upon completion of this review the board will take on the task of implementing any recommended, or legally necessary, updates. The board is hoping this will not be a huge task but, if it is, we will keep the BLHOA members up-to-date on the lawyer's findings and our progress in implementing any necessary changes.

Architectural Control Committee Report

All projects requested as of today have been completed.

With the notices, we include in every newsletter, and the documents that were provided when you purchased a lot in Betz Landing, we do our best to inform every lot owner that **ACC approval is required before any substantial land disturbance or tree clearing occurs on your lot. The Association preserves the sole right to restrict the clearing, grading, tree removal, or construction activity which may take place on any lot.** Of course, this does not apply to small projects such as tilling up your garden or clearing underbrush and dead trees. Let's keep this issue on a common-sense basis, and if you feel your project might need permission, contact the Committee just out of respect.

The Architectural Control Committee(ACC) has always dealt with members of the association with respect and professionalism. We strive to continue in that manner. The time and effort in



dealing with applications and violations come from their personal concern for the Betz Landing community. I hope the membership sincerely appreciate their contributions.

If you are considering a building project of any kind please contact a member of that committee before you begin breaking ground. If you need assistance navigating our architectural control guidelines please contact a member of the ACC. The list of current members of the ACC can be found on the BLHOA website.

Maintenance Committee Comments

Thanks to the Sam Frye for making sure all community maintenance issues are dealt with in a timely fashion! Because of his efforts, there are currently no outstanding maintenance issues! Our Maintenance Committee Chairman position is currently open and we are looking for one good person to stand up and take on that responsibility. We have discussing various ideas for repairing and preserving the Betz Landing sign at the front entrance to help maintain the beauty of the sign for many years to come. We are obtaining estimates for this project and will be discussing this project at the March meeting.

COMMON STORAGE AREA VEHICLE REGISTRATION - ATTENTION EVERY LOT OWER

Thank you to those lot owners that returned the registration form from last year and attached you tag(s). As suggested you should attach the tag in a permanent manner where it cannot be easily removed. If your tag is stolen or lost, the member will pay for the replacement. These tags may be reused when the old vehicle has been sold and can be transferred to the new vehicle.

Last fall, we conducted an inspection to see if every vehicle in the lot had the required tag. Only one old trailer was found to not have the proper BLHOA tag, and was removed. In the future, if we find a trailer, boat, etc. that does not have the proper tag, we will make every attempt to find the rightful owner and advise them that they need to register the vehicle with the association. After all attempts to find the owner have failed, a form will be filed with VDOT and the vehicle will be removed and disposed of. We as an organization have the right by Virginia law to remove any derelict vehicles. Please contact a board member if you need a tag.

PROCEDURE FOR ENFORCEMENT OF RULES and APPEALS PROCESS

Some homeowners have asked for clarification of enforcement and appeals process. These documents have been put on our web site (betzlanding.org). Some people get a security warning message when they try to log onto our web site. There is no virus on our web site. It has something to do with the security software you are running. Bypass the warning message to get to our web site.

If you would rather receive the newsletter via mail please send me a note so I can make sure that you receive a copy.

All future newsletters will only be available online at BETZLANDING.ORG



Association Board Needs Your Help Now

We always need volunteers to fill Board Member positions. These positions are **not** time consuming (if spread among the many) and you only need to attend five meetings a year lasting 2 hours or less. Please help your community. Make this year the time you decide to step up and serve. If you feel you would like to help, or the Nominating Committee asks you to serve, please seriously consider it. See the Covenants and/or by-laws committee rules.

Just an FYI we have one director that comes all the way from New Jersey to participate.

Another thing needs your attention and this comes from your treasure. Enclosed with your invoice this year is a request that you provide and/or verify your e-mail address by sending back an acknowledgement to betzlanding@outlook.com indicating your preferred address. Your address will be put on the QuickBooks data base. When you reply indicate two things:

1. Do you want your e-mail address to be shared with the rest of the association? If you don't your record will be so marked.
2. And number two, do wish to have your next years invoice send via e-mail?

When you reply please put this in the subject line (lot## Yourlastname)

Thanks ever so much. If we can get that done it will save quite a few dollars in mailing cost.

Betz Landing Scholarship Fund

This fund was very successful in its past years due to your generosity. So far it has helped out 8 local young people. Please contribute if you can and send your tax-deductible donation to P.O Box 422 Heathsville, VA 22473. The treasurer has been diligent on returning receipts to those that donate. The Fund Trustees reminds everyone that the Fund is completely voluntary and **are in no way connected with the membership dues.** We thank Greg & Sue Haugan, Myrtle Phillips, Sandy Henbest, and Joe Thompson for serving on the committee and recognize them for their service. If you feel you would like to volunteer to help the committee, contact, Joe Thompson jmt2@rivnet.net

Update: The board has had some discussions about how to proceed with the Betz Landing Scholarship Fund. Several options are being discussed by the board and a final decision will be made at the March Board meeting. Please attend the March meeting, or send your comments to BLHOA's official email address (betzlanding@outlook.com) if you would like to express your opinions on this subject.

Final note

On behalf of the board, I would like to thank everyone who has stepped up to help our community be one of the best, well run, homeowner's associations on the Northern Neck! I've been in several meetings where we were told that we are a "stand out" community.



Of course, the reason we are such an outstanding community is that we have great volunteer participation! Each year we hold a spring cleanup day that brings many residents out with their hedge clippers and rakes. We keep our roads free of trash and our “broad” road ways well-trimmed and tree limbs cut back so the grass cutter can keep our road ways looking well-manicured!

The board will stay in touch with everyone with this quarterly newsletter, and I hope you appreciate the information. Please keep yourself up to date by visiting our website at www.betzlanding.org or friend us at <https://www.facebook.com/BetzLanding> and help us keep your Association active and viable.

Thanks,
Dave Dustin, President

